

Variance Appeal Summary

We are requesting a variance to allow a first-floor primary suite addition to our existing home, including a bedroom, accessible bathroom, and closet. We have a family member whose mobility is declining and is no longer able to safely use the stairs. The proposed location is the only practical place to create the suite while requiring minimal rework to our existing home.

The addition is designed as a natural extension of our house and will match the existing white painted brick, black roof, and overall architectural character of the home.

We are requesting a reduction in the required front setback and side setback. These reduced setbacks occur only in limited portions of the addition. The side setback is adjacent to trees (and panhandles) with no neighboring home immediately adjacent, and the property's location on a turn and existing foliage further minimizes the visual impact.

We believe the variance will allow us to make a necessary accessibility improvement while preserving the character of our home and neighborhood and having minimal impact on surrounding properties. We respectfully request approval.

Standards to be considered:

i. The property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance:

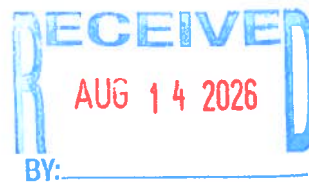
The property will continue to have a beneficial use as a single-family residence without the variance. However, the requested variance is necessary to allow our home to continue to function as a safe and practical long-term residence for our family. Due to our family member's declining mobility, they are no longer able to safely use the stairs. A first-floor primary bedroom and accessible bathroom are therefore necessary for them to safely remain in our home. The proposed addition would allow us to make the home accessible while preserving its existing use and character.

ii. The variance is substantial;

Whether the variance is substantial:

The requested variances reduce the required 50-foot front setback to approximately 33 feet and the required 15-foot right-side setback to approximately 5 feet. Although these reductions are measurable, their practical effect is limited by the unusual configuration of the property and surrounding parcels. The proposed addition will maintain approximately 33 feet of separation from the street on the right side of the house. The right side of the addition matches the offset on the left side of the house as the garage is forward from the rest of the house, creating a symmetry to the house.

This is an addition to an existing residence on an irregularly configured lot along a curved roadway, rather than placement of a new residence within the required setback. The proposed 5 foot right-side setback



is adjacent to panhandle portions of neighboring properties rather than immediately adjacent to another residence. Due to the configuration of those parcels, the reduced side setback has limited practical effect on neighboring homes. The requested setbacks have been limited to what is needed to accommodate a practical first-floor primary suite while minimizing impacts on the surrounding neighborhood.

iii. The essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;

Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance

The proposed addition will not substantially alter the essential character of the neighborhood or cause substantial detriment to adjoining properties. It will remain part of the existing single-family residence and will not introduce a new use, additional dwelling unit, commercial activity, or other use inconsistent with the surrounding residential neighborhood. The addition has been designed as a natural extension of the existing home. Exterior materials and architectural elements will match the existing structure, including the white painted brick and black roof. Although the required front setback is 50 feet, the proposed addition will remain approximately 33 feet from the street. The property is located on a turn, and homes in this portion of the neighborhood are positioned and oriented differently from one another. The proposed 5 foot right-side setback will also have limited practical impact because the area immediately adjoining the addition consists of panhandle portions of neighboring properties rather than an immediately adjacent residence. The permanent parcel configuration and separation from neighboring residences limit the effect of the requested side-yard variance. The addition will therefore read as a cohesive extension of the existing residence and will maintain the established residential character of the property and neighborhood.

iv. The variance would adversely affect the delivery of governmental services (i.e. water, sewer, garbage);

Whether the variance would adversely affect the delivery of governmental services (i.e. water, sewer, garbage)

The variance itself is not expected to adversely affect water, sewer, refuse collection, emergency access, or other governmental services. The proposed addition will be approximately 33 feet from the street and 5 feet from the right-side property line.

Any utilities that may be impacted by construction will be appropriately accommodated or relocated in accordance with applicable requirements. We will work with the appropriate utility providers and comply with all applicable requirements to ensure that water, sewer, garbage collection, and other governmental services are not adversely affected.

v. The property owner purchased the property with knowledge of the zoning restrictions;

Whether the property owner purchased the property with knowledge of the zoning restrictions

The property was purchased as a single-family residence. We did not purchase the property with the intention of constructing an addition within the required setbacks, and the proposed addition was not contemplated when the property was purchased. The requested variance is being sought due to a need to modify the existing home to accommodate our changing needs and provide us with a safe and accessible first-floor primary bedroom and bathroom. The requested variance therefore results from a change in our family's circumstances rather than from a condition or development plan knowingly created when the property was purchased.

vi. The property owner's predicament can be feasibly obviated through some method other than a variance;

Whether the property owner's predicament can be feasibly obviated through some method other than a variance

The proposed location of the primary suite was selected to minimize construction and disruption to our existing home. It requires minimal rework to the existing house while providing the most practical location for a first-floor bedroom, bathroom, and closet.

Due to a family member's recent mobility changes, they are no longer able to safely use the stairs. A first-floor primary suite is necessary to allow them to remain safely in our home. Moving the addition to another location would require significantly more modification to the existing structure and would not provide the same practical and accessible solution.

vii. The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance

Granting the requested variances would preserve the spirit and intent of the setback requirements while allowing a reasonable and necessary adaptation of our existing single-family home. The addition will remain approximately 33 feet from the street and approximately five feet from the right-side property line. While the side setback is less than the required 15 feet, the addition is adjacent to panhandle portions of neighboring properties rather than another residence, minimizing its impact on adjoining homes.

The property's location on a turn, differing orientation of nearby homes, and existing trees and foliage further limit the visual and practical impact of the reduced setback. The addition will also match the existing white painted brick, black roof, and overall character of the home and neighborhood. It will maintain the property's existing residential use and is limited to what is reasonably necessary to create a practical first-floor accessible living area.

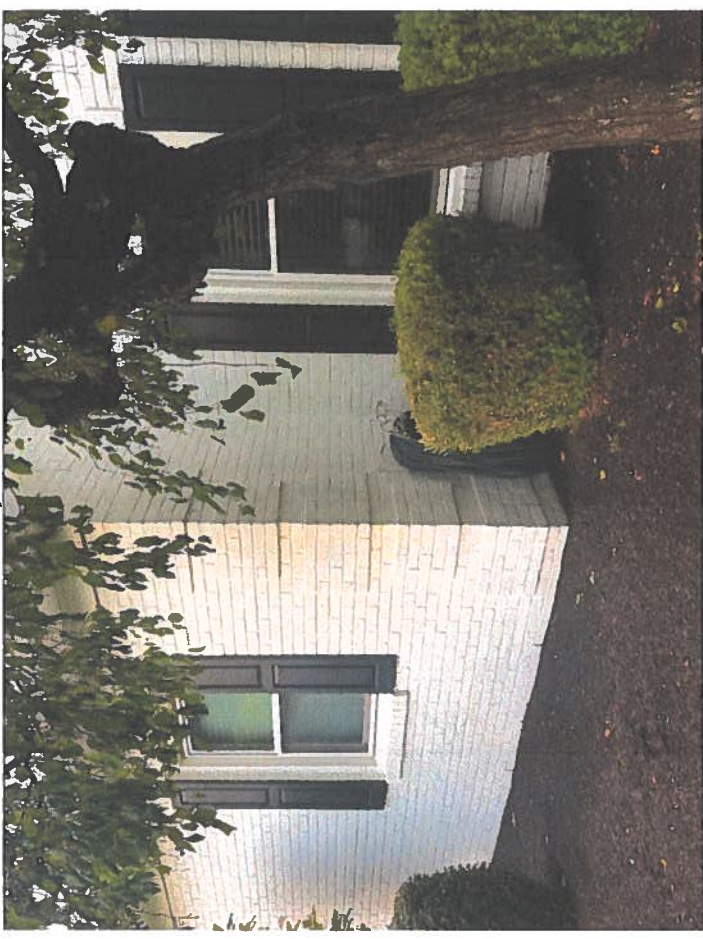
Under these circumstances, the variances would allow a necessary modification to our home while preserving neighborhood character and minimizing impacts on adjoining properties. Substantial justice would be served by allowing our family to remain safely in our home as our needs change.

2946 Treeknoll Ct. – Proposed Addition

Picture taken from the start of the proposed addition showing how the garage/opposite side of the house is offset from the front of the house. The addition will match the offset to make the addition feel like it is part of the original house.



Garage offset – Addition will match this offset except it will have a bay window.



View of where the proposed addition would be built.

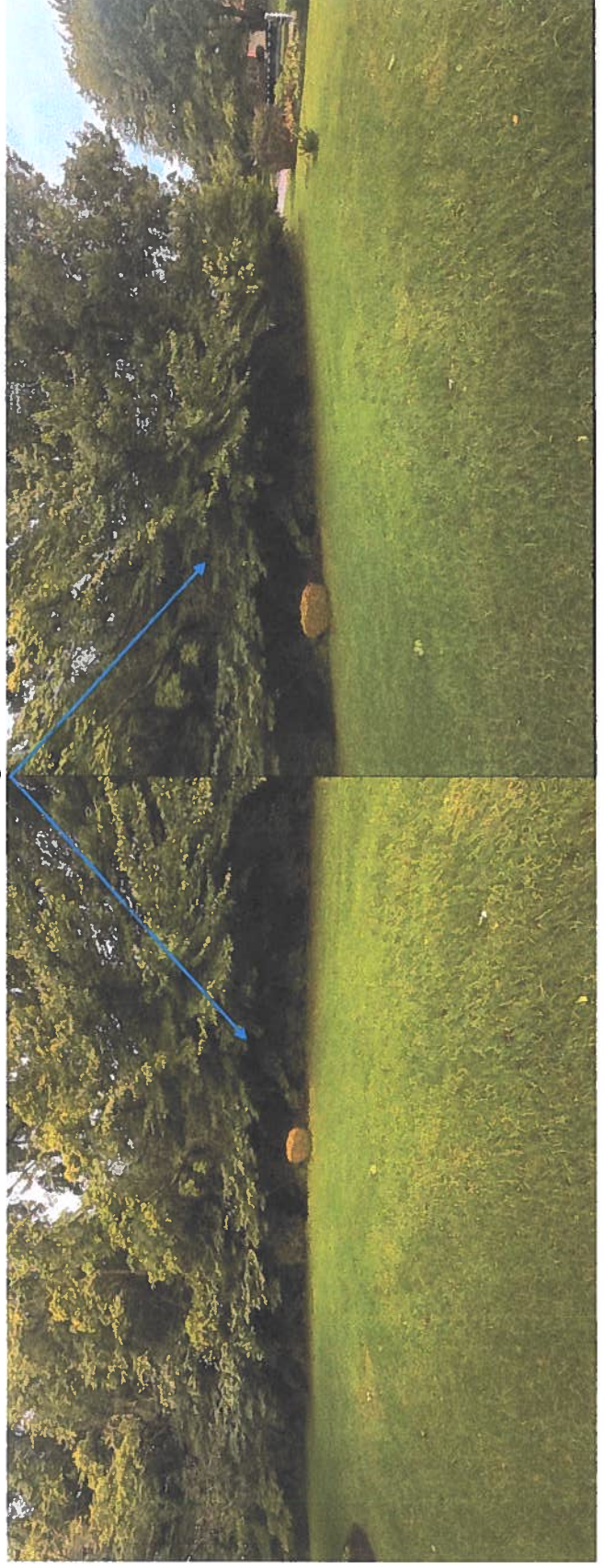


Proposed addition location

View of the house coming down Treeridge Dr. into the turn. The mailboxes and foliage block where the proposed addition would go.



Standing where the proposed addition would be built looking out at the adjacent panhandles. This is what would be right next to the addition.



August 13, 2026

Anderson Township Board of Zoning Appeals
7850 Five Mile Road
Anderson Township, Ohio 45230

Re: Variance Request for 2946 Treeknoll Drive

Dear Board of Zoning Appeals Members:

We are the owners and residents of **2960 Treeknoll Drive**, immediately adjacent to the property at **2946 Treeknoll Drive**. We are writing in support of the requested zoning variances for the proposed addition to the residence at 2946 Treeknoll Drive.

We have reviewed the proposed addition and understand that variances are required for both the front and side yard setbacks. As adjoining property owners, we have no objection to the proposed addition or the requested setbacks.

The property configuration in this area is somewhat unusual, due to the panhandle property lines and the location of the homes along the curve of Treeknoll Drive. Based on the proposed plans, we do not believe the addition or the reduced setbacks will adversely affect the use, enjoyment, privacy, or value of our property.

We also believe the proposed addition is consistent with the residential character of the neighborhood. It remains an addition to an existing single-family home, and we understand that the exterior is intended to match the existing residence. The project does not change the residential use of the property or introduce an incompatible use into the neighborhood.

We further understand that the proposed addition will provide a first-floor primary bedroom and accessible bathroom because of the homeowner's changing needs. We believe allowing a longtime resident to reasonably modify their home to accommodate those needs is an appropriate use of the variance process.

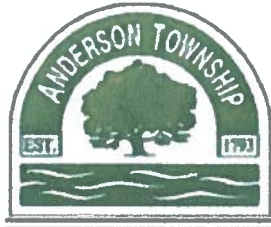
As the owners of an adjoining property, we believe the requested variances can be granted without substantially altering the character of the neighborhood or creating a detriment to the surrounding properties. We respectfully encourage the Board to approve the requested variances.

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Eric and Lea Beck", written in dark ink.

Eric and Lea Beck
2960 Treeknoll Drive
Cincinnati, Ohio 45244



Anderson Township

Anderson Center

7850 Five Mile Road
Anderson Township, Ohio 45230-2356

Phone: 513.688.8400
AndersonTownship.org
AndersonCenterEvents.org

NOTICE OF REFUSAL ZONING CERTIFICATE

OWNER: Melissa Frantz TR
2946 Treeknoll Dr.
Cincinnati, OH 45244

APPLICANT: Same

Your application of August 10, 2026 for a zoning certificate for a 18.4' x 40.7' addition in the front and side yard area, per the drawing attached, at the premises designated as 2946 Treeknoll Drive, Book 500, Page 300, Parcel 96, Zoned "A" Residence, Anderson Township, is hereby refused on this 10th day of August 2026, under Article 3.3, C, 2, a and b of the Anderson Township Zoning Resolution for the reason(s) that:

Article 3.3, C, 2, a – Front Yard: There shall be a front yard having a depth of not less than fifty feet (50')... **The request submitted shows a front yard setback from the addition of 33' instead of the required 50'.**

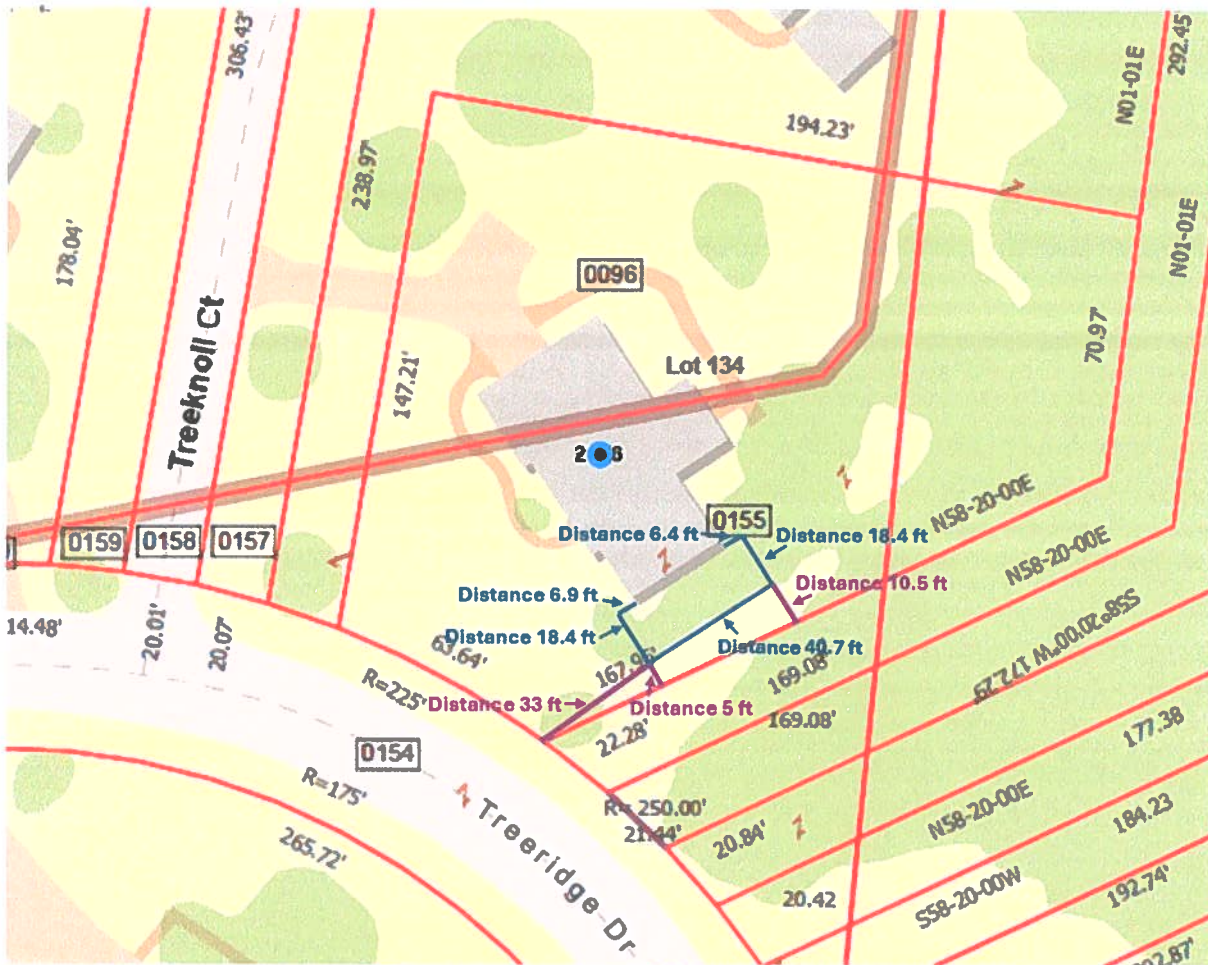
Article 3.3, C, 2, b – Side Yard: Except as hereinafter provided in Article 5.2, There shall be a side yard on each side of a building which yard shall have a width of not less than fifteen feet (15'). **The request submitted shows a side yard setback of 5' from the adjacent panhandle property line, instead of the required 15'.**

August 10, 2026
Date

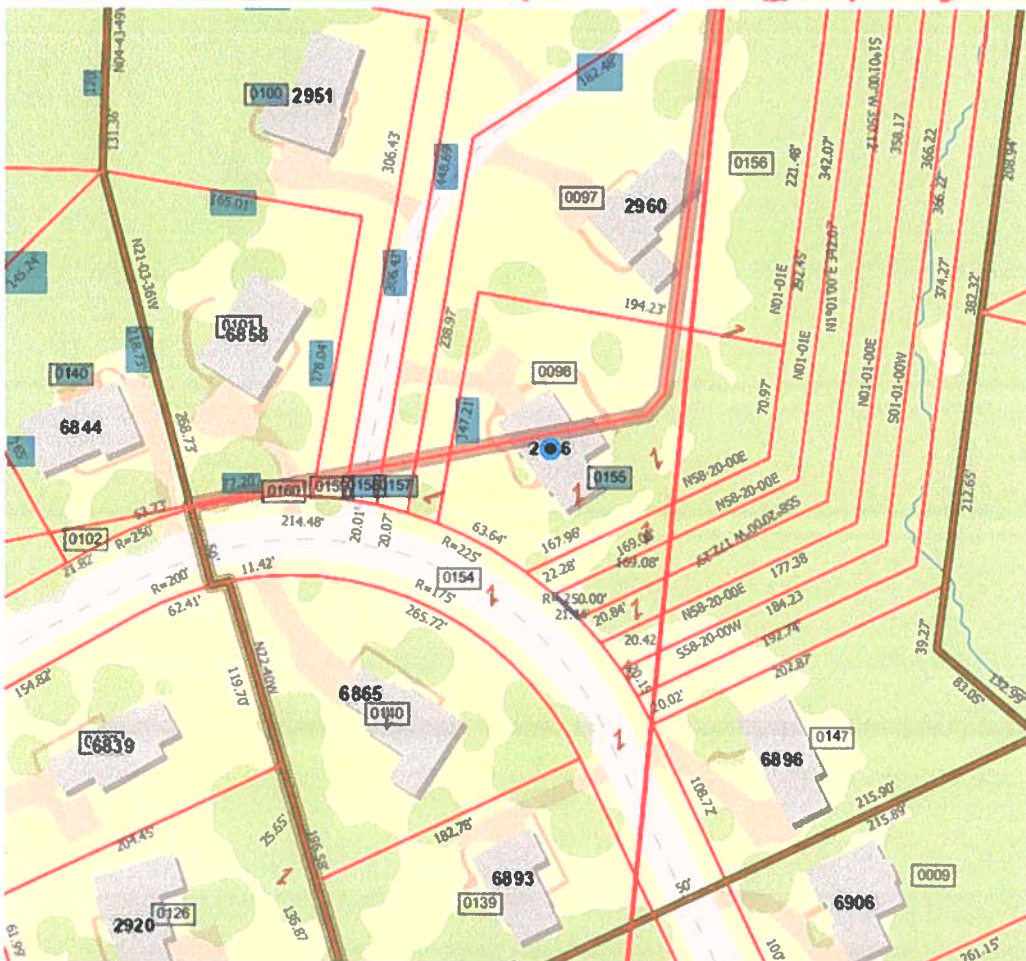


Sarah Donovan, AICP
Assistant Director of Planning and Zoning

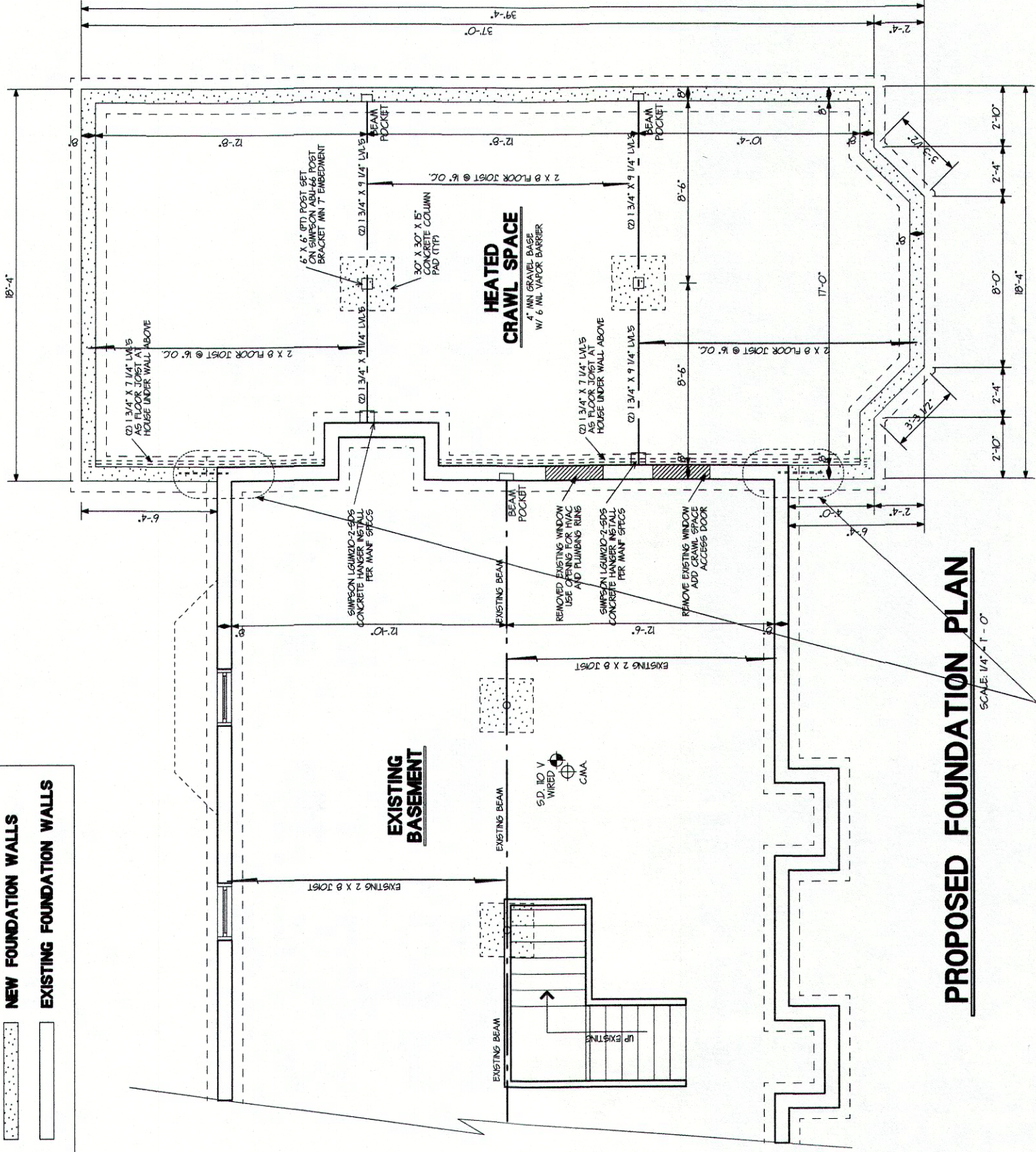
Note: Any appeal made from this refusal must be filed with the Anderson Township Board of Zoning Appeals within twenty (20) days after the date of this refusal. For further information, contact Anderson Township Land Use Administrator at (513) 688-8400.



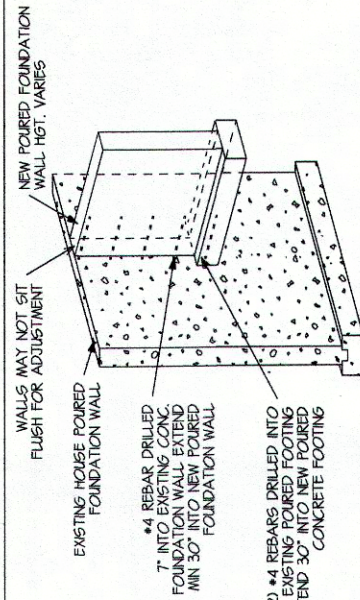
Property Owner: Melissa Frantz



NEW FOUNDATION WALLS
EXISTING FOUNDATION WALLS



PROPOSED FOUNDATION PLAN
SCALE 1/4" = 1'-0"



NEW TO EXISTING
FOUNDATION WALL CONNECTIONS
SCALE 1/4" = 1'-0"

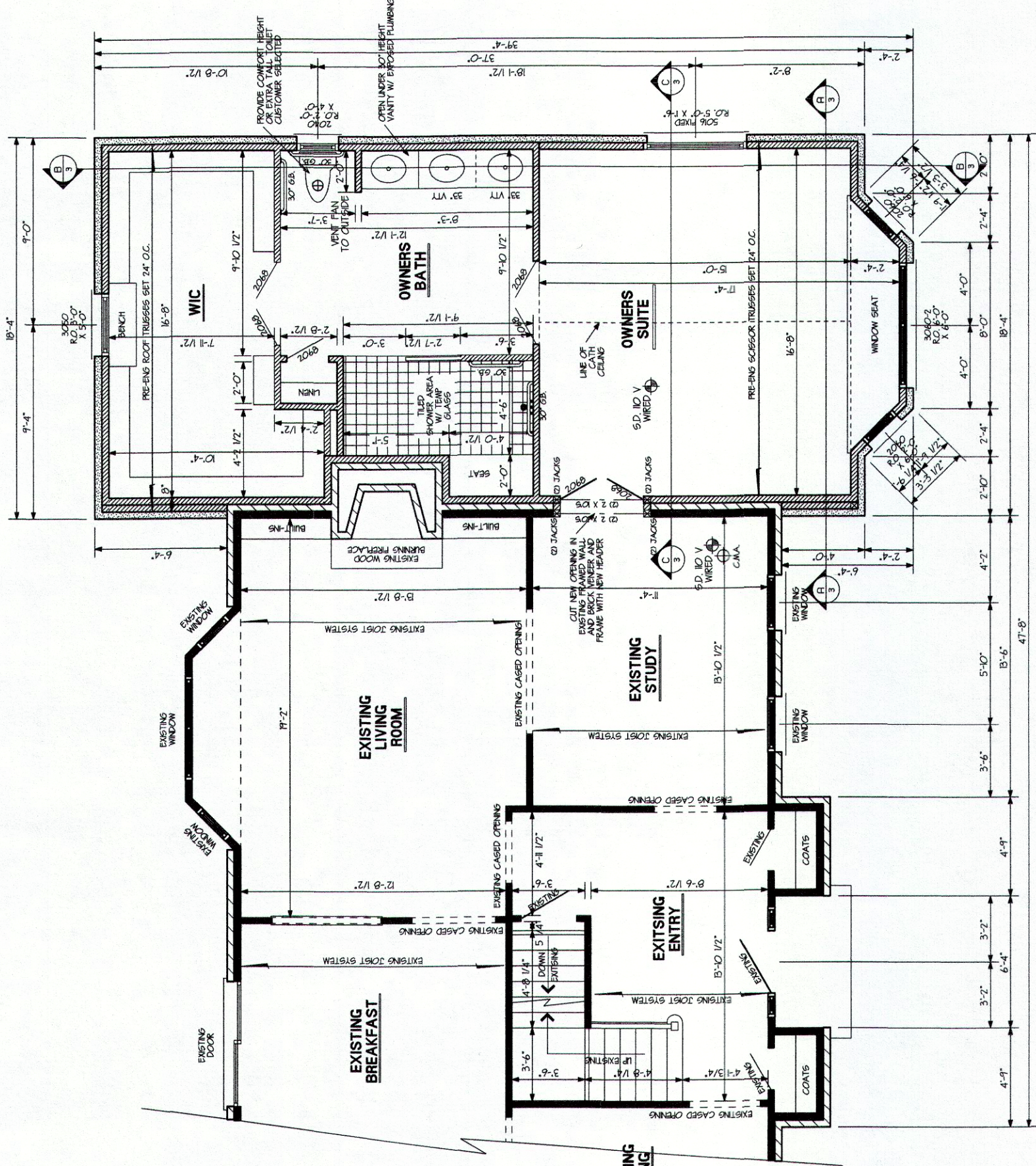
FLOOR PLAN NOTES:

1. Do not scale drawings.
2. All temp glass locations to follow 2015 IRC code 308.4.
3. All smoke detectors to be 110 volt with battery backup and connected so that if one sounds all sound.
4. All windows shown to be as manufactured by customer selected window brand.
5. Standard window header height this floor to be 7'-0 3/4" A.F.F. unless noted otherwise.
6. Ceiling height this floor to be 9'-1 1/8" A.F.F. (rough) unless noted otherwise.
7. All inside/outside stairway/open porches, screened porches, decks, etc., shall be properly illuminated.
8. All wall sheathing seams backed by blocking equal to stud size. Sheathing to run conts. over all plate seams. all sheathing seams shall break over studs or at 1/2" nailing points. Sheathing shall be attached to studs with 16d nails 3" o.c. on all intermediate edges and 4" o.c. all boundary edges.
9. Show guardrails 34"-38" above railing • all open stairs shall have guardrails and handrails. Guardrails shall not allow an object 3" or more in diameter to pass through and shall not be constructed in any pattern that results in a ladder effect.
10. All types of gypsum board shall be installed in accordance with applicable code. Gypsum board shall be installed in the ceiling framing and shall be fastened at maximum 6 inches o.c. drywall screws.
11. All wall width to be a min. of 36" finished per R2013.
12. All exposed fasteners to be hot-dipped galv.
13. All new windows are to be each clearly marked outside with sleeping room, and around building level.
14. Smoke detectors are interconnected (all sound) in smoke detectors are powered by the building wiring.
15. Provide carbon monoxide alarm outside each separate sleeping area in the immediate vicinity of the bedrooms.
16. All dimensions were field measured and should be verified.

FOUNDATION NOTES:

1. Do not scale drawings. Foundation contractor to take care to note location of all plates for the purpose of location of the anchor bolts.
2. Footings - existing typical 22"x x 8" d concrete continuous and a cut keyway. Footing to bear on undisturbed soil. If existing footings are located at footings to be a minimum 30" below grade.
3. Footings - all new footing to be 22" wide x 8" deep poured concrete footing w/ conts. 2" x 4 cut keyway to be cast into existing footing. Footing to be cast at 32" o.c. min (2) per plate max. 12" from corners. Min 7" embedment.
4. Provide slab control joints at max. 30'-0" each way.
5. Foundation walls to be coated with spray or brush applied bituminous material. If habitable room are to be located below grade, foundation walls shall be coated with 5 mil polyurethane chloride membrane or equal.
6. All lather to direct contact with concrete to be pressure treated.
7. Provide outside combustion air intake for furnace and water heater as required.
8. All existing foundation walls are 8" thick poured concrete walls.
9. All new foundation walls to be 8" thick and 3'-0" +/- tall.
10. All new foundation walls to be hot-dipped galvanized or stainless steel.
11. Provide full depth blocking in all past cavities immediately adjacent to the foundation wall. All past cavities shall be filled with 1/2" of concrete. All past cavities shall be filled with 1/2" of concrete. All past cavities shall be filled with 1/2" of concrete.
12. All dimensions were field measure and should be field confirmed.

EXISTING HOUSE FRAMED WALLS
EXISTING HOUSE BRICK VENEER
NEW BRICK VENEER
NEW HOUSE FRAMED WALLS



PROPOSED
FIRST FLOOR LAYOUT
SCALE 1/4" = 1'-0"

MATTHEW KIRSCH

15666 Highway 10 North
Biller, KY 41006
(859) 472-7551

DATE	REVISIONS	BY	SCALE
7-25-26	FINAL	M. KIRSCH	AS NOTED
7-22-26			
7-6-26			
7-1-26			

A Addition For:
FRANTZ RESIDENCE

Home Type:
CUSTOM

Job No.

Sheet No.
2

[illegible]

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
Railers having slopes greater than 3:2 with finished ceiling attached to railers	L/240
Railers having slopes greater than 3:2 with no finished ceiling attached to railers	L/240
Floors	L/360
Walls	H/240
Railers having slopes less than 3:2 with finished ceiling attached to railers	L/240
Railers having slopes less than 3:2 with no finished ceiling attached to railers	L/240

[illegible]

MASONRY FLASHING DETAIL

scale $1/2" = 1'-0"$

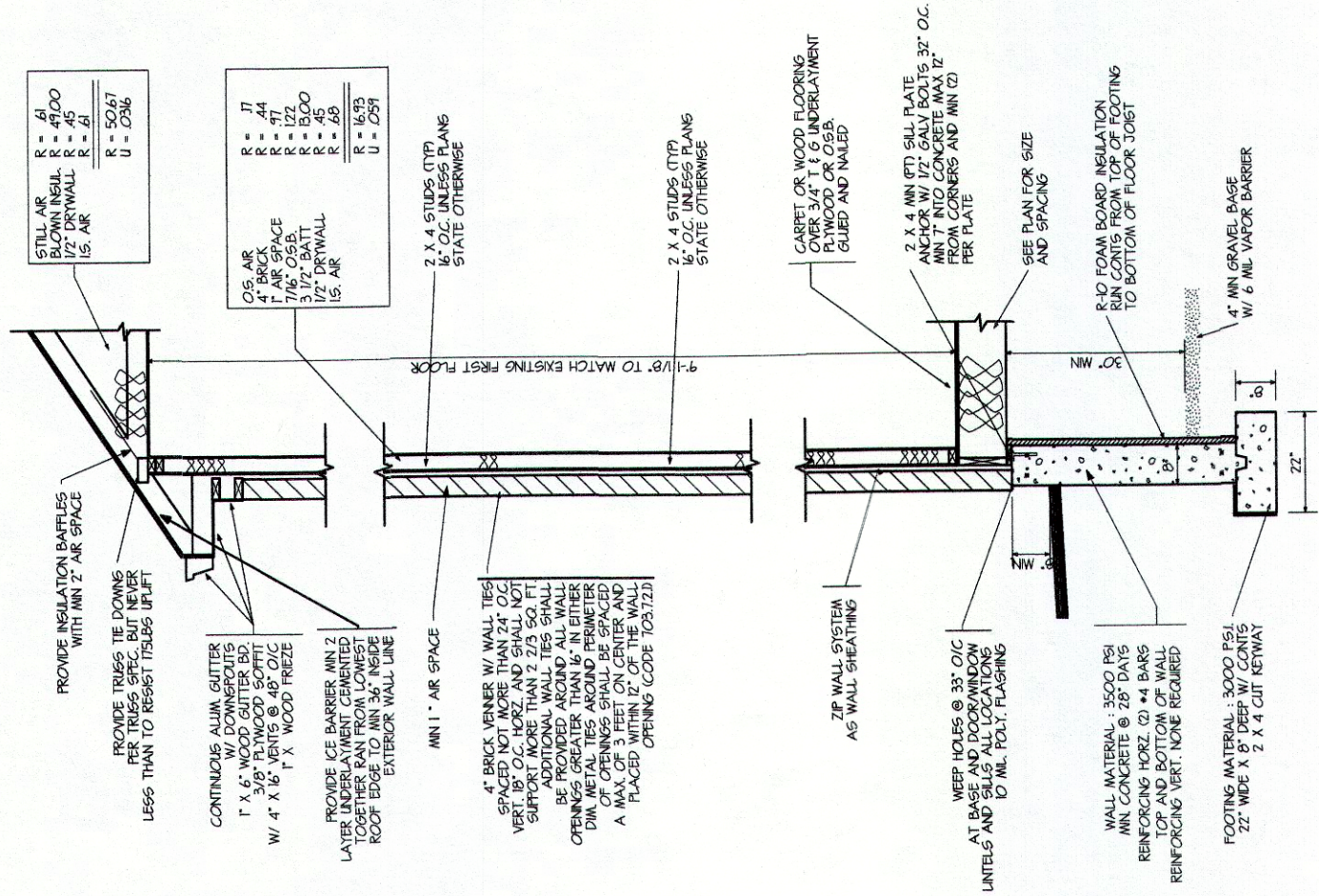
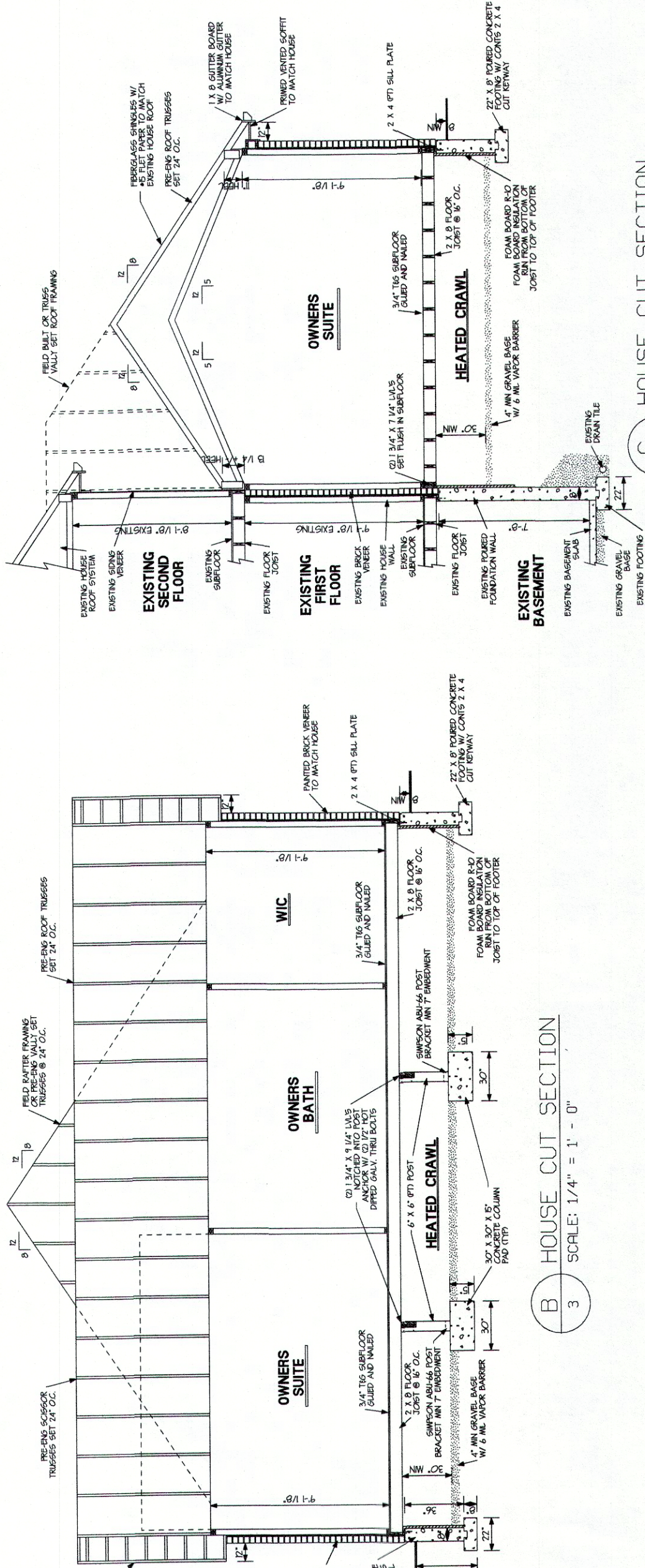
allowable spans for lintels supporting masonry veneer _{a,b,c,d}.

size of steel angle (inches each)	no story above	one story above	two stories above	no. of 1/2" or equivalent reinforcing bars
3 x 3 x 1/4	6'-0"	4'-6"	3'-0"	1
4 x 3 x 1/4	8'-0"	6'-0"	4'-6"	1
5 x 3 1/2 x 5/16	10'-0"	8'-0"	6'-0"	2
6 x 3 1/2 x 5/16	14'-0"	9'-6"	7'-0"	2
2-6 x 3 1/2 x 5/16	20'-0"	12'-0"	9'-6"	4

For SI inch = 25.4 mm, 1 foot = 304.8 mm

- Long leg of the angle shall be placed in a vertical position.
- Depth of reinforced inlets shall not be less than 8 inches and all cells of hollow masonry inlets shall be grouted solid. Reinforcing bars shall extend not less than 8 inches into the support.
- Steel members indicates are adequate typical examples, other members meeting structural design requirements may be used.
- Either steel angle or reinforced inlet shall span opening.

TYPICAL WALL SECTION



A HOUSE CUT SECTION

SCALE: 1/4" = 1' - 0"

